

oakheart



£160,000

Salamanca Way, Colchester

Welcome to this ideal top-floor 2-bedroom, 2-bathroom apartment located in the desirable Mansion House area, south of Colchester. This residence offers a perfect blend of style and functionality, making it an ideal choice for both first-time buyers and Buy to let investors.

As you enter the apartment, you are greeted by a spacious open-plan kitchen/living area, designed to create a bright and inviting atmosphere. This thoughtfully laid-out space is perfect for entertaining guests or enjoying quiet evenings at home. The kitchen is equipped with appliances and ample storage, seamlessly

connecting to the living area where natural light floods in through large windows.

The apartment features two generously sized double bedrooms, providing comfortable accommodations for residents. The principal bedroom boasts the added luxury of an ensuite bathroom, offering privacy and convenience. The second bedroom is versatile and can be used as a guest room, home office, or additional living space.

Completing the accommodation is a well-appointed family bathroom, ensuring that all residents have access to essential facilities.

Additional highlights of this property include allocated parking, which is a valuable asset in this bustling area, and the significant benefit of being offered with no onward chain, streamlining the buying process.

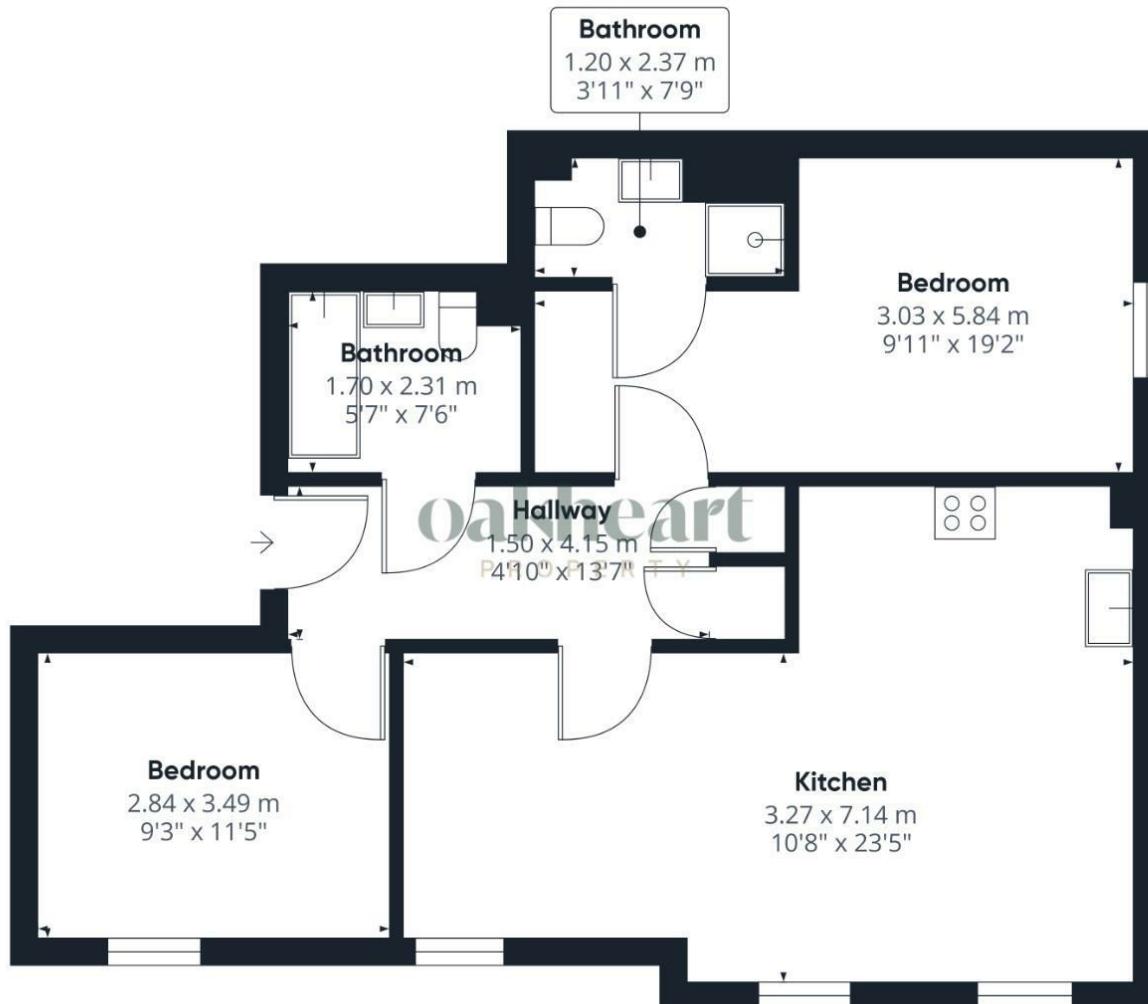
This apartment not only provides a comfortable living environment but also places you in a vibrant community with easy access to local amenities, transport links, and green spaces. Don't miss the opportunity to make this beautiful apartment your new home!











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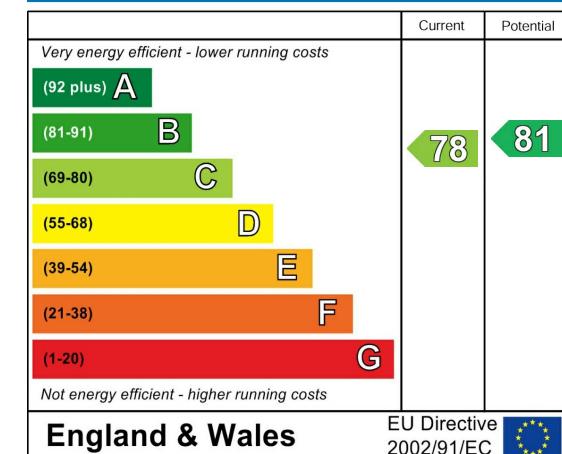
Local Authority:
Colchester

Tenure:
Leasehold

Council Tax Band:
B

Energy Efficiency Rating

Approximate total area⁽¹⁾
64.79 m²
697.4 ft²



(1) Excluding balconies and terraces

While every attempt has been made to ensure accuracy, all measurements are approximate, not to scale. This floor plan is for illustrative purposes only.

Calculations are based on RICS IPMS 3C standard.

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Agents Note: Whilst every care has been taken to prepare these particulars, they are for guidance purposes only. All measurements are approximate and are for general guidance purposes only and whilst every care has been taken to ensure their accuracy, they should not be relied upon.

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